

GREATER LOWNDES PLANNING COMMISSION  
AGENDA ITEM

SUBJECT: Rezoning Case REZ-2024-01

Regular Meeting (x)

Work Session (x)

DATE OF MEETING: January 29, 2024

Recommendation (x)

Policy/Discussion ( )

BUDGET IMPACT: N/A

Report ( )

FUNDING SOURCE: ( ) Annual ( ) SPLOST ( ) Capital (X) N/A

ACTION REQUESTED ON:

REZ-2024-01 Gresham Event Venue  
8415 Old Valdosta Road (0008 087)  
E-A to PD-R, Well and Septic, ~10.3 acres

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HISTORY, FACTS AND ISSUES:

This request represents a change in zoning on the subject property from E-A (Estate Agricultural) zoning to PD-R (Rural Planned Development) zoning. The general motivation in this case is for the applicant to utilize the property as a Club, Lodge, Meeting or Event Facility, primarily for weddings, family reunions, birthday parties, corporate events, community gatherings, etc., with the ability to accommodate overnight guests. The subject property possesses road frontage on Old Valdosta Road and Salem Church Road, a collector and local road respectively, and is within the Rural Service Area and Agricultural/Forestry Character Area.

Aspects of this case worthy of consideration include: 1) The nature of the request as it pertains to a rural setting, 2) Current trends of event venues in rural areas, 3) Surrounding agricultural and clustered residential use of lands.

The TRC considered the request and is supportive of the following Staff-recommended conditions:

1. Uses permitted in the Estate Agricultural (E-A) zoning district, and
  - a. A club, lodge, meeting or event facility, with overnight accommodations, where the operation of the facility is limited to meetings, retreats, celebrations, and weddings for groups no larger than the fire code allows for the proposed buildings/area<sup>1</sup>. Outdoor performances by bands or ensembles that are accessory to a meeting, retreat, celebration, or wedding shall be allowed.
2. Unless otherwise noted on the LCBOC approved site plan, the use of the property shall be subject to all standards applicable to properties in the E-A zoning district.
3. The operation of the event facility shall adhere to the Lowndes County Noise Ordinance.
4. Exterior lighting shall be shielded to avoid direct illumination of adjacent properties.

OPTIONS: 1. Approve      2. Approve with Conditions      3. Table      4. Deny

RECOMMENDATION: Option 2

DIVISION: Planning

STAFF: JD Dillard

Recommendation by the Commission: \_\_\_\_\_

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<sup>1</sup> The following Occupant Loads and Square Footages of other rural event venues are listed below for reference:  
Quail Branch – Occupant Load of 296; Total of 11,016 sf  
Hallabrook Hill – Occupant Load of 214; Total of 4,812 sf  
Fox Hill Plantation – Occupant Load of 250; Total of 5,258 sf  
Highgrove Farms – Occupant Load of 467; Total of 5,428 sf (among 4 buildings, highest Occupancy of 250)



18 December 2023

Lowndes County Board of Commissioners  
327 North Ashley Street  
Valdosta GA 31601

Stan Folsom, GA RLS #2284  
1309 Edgewood Drive  
Valdosta GA 31601  
Office: (229) 244-2920  
folsom22@bellsouth.net

**Re: Re-zoning of 10.36 Acres** – Old Valdosta Road, Lowndes Tax Parcel 0008 087 for Gresham Event Venue.

Dear Commissioners;

On behalf of Mr. Tony Gresham, Folsom Surveying LLC submits this Letter of Intent to rezone 10.36 Acres near Hahira to **PD-R (Rural Planned Development)**. *This district is intended for the development of a combination of residential, office, and limited commercial uses. This district is established to encourage creative and resourceful projects that include compatible, interrelated uses and related public facilities unified by a development plan and tailored to a rural setting.* Mr. Gresham intends to establish an event venue, which is a permissible use subject to supplemental standards per ULDC Table of Land Uses 2.03.03.

It will be located off Old Valdosta Road, a collector road.

The site will provide a variety of benefits. It will fulfill a need in Hahira and Lowndes County for luxury accommodations for up to 16 guests (rented as one unit), act as meeting/gathering space for existing and prospective businesses based in the area, provide support space for existing event venues in the region, and attract guests from across the country to host their special events South Georgia.

In summary, I feel that Mr. Gresham's proposed PD-R Zoning and planned Event Venue are compatible with the existing surrounding land use, and will benefit Hahira

Thank you for your consideration.

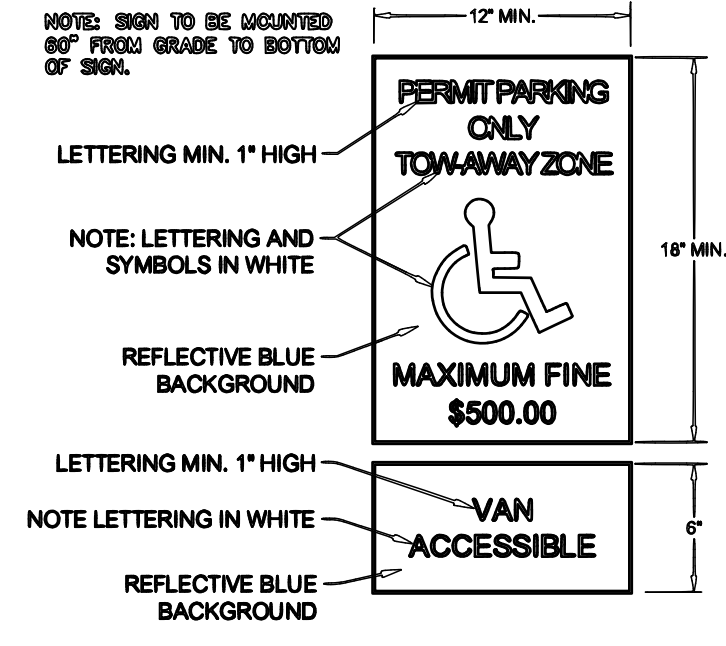
Sincerely;  
Stan Folsom, GA RLS #2284

**Folsom Surveying LLC – Land Surveying & Related Professional Services**  
**1309 Edgewood Drive – Valdosta, GA 31601**  
**Stan Folsom RLS #2284**  
**Office Phone**  
**229-244-2920**  
[folsom22@bellsouth.net](mailto:folsom22@bellsouth.net)

**GENERAL CONSTRUCTION NOTES:**

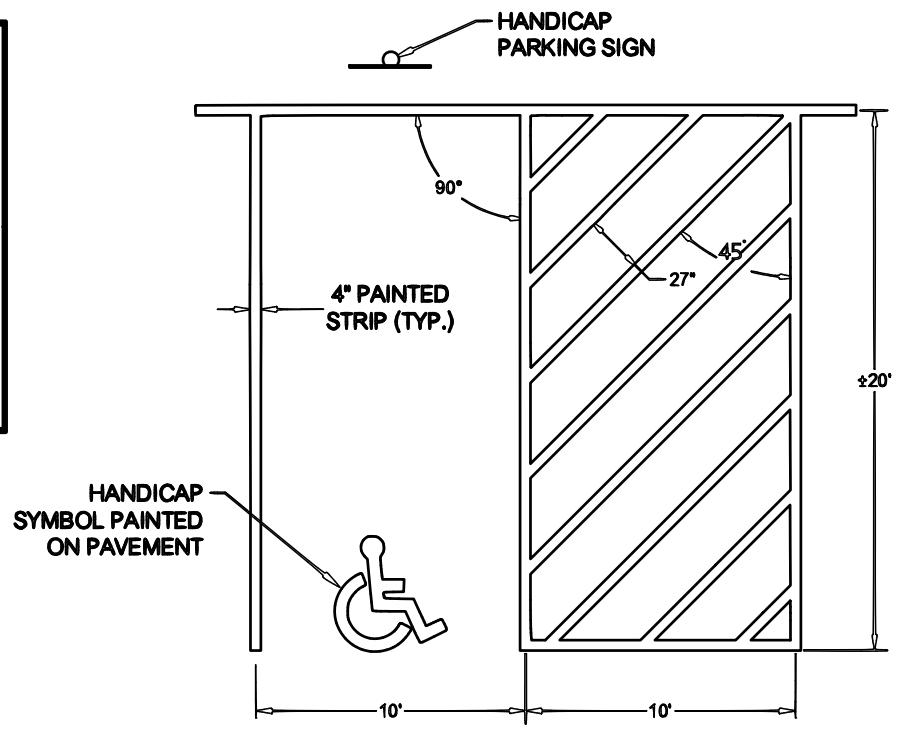
- UTILITIES SHOWN HEREON ARE BASED UPON ABOVE GROUND APPURTENANCES ONLY. UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO DESCRIPTION, LOCATION, OR ELEVATION. UTILITY FACILITIES, SUCH AS SERVICE LINES OR UNKNOWN FACILITIES, NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY UNDER TITLE 26, CHAPTER 9, OFFICIAL CODE OF GEORGIA ANNOTATED. VERIFY THE ELEVATIONS OF EXISTING PIPING, UTILITIES, AND ANY TYPE OF UNDERGROUND OR ENCASED OBSTRUCTION, NOT SPECIFICALLY INDICATED TO BE REMOVED, AS INDICATED OR DISCOVERED IN LOCATIONS TO BE TRAVERSED BY PIPING, DUCTS, AND OTHER WORK TO BE CONDUCTED OR INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WHILE UTILITIES ARE BEING RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM WORK PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO MINIMIZE ANY INTERRUPTION OF UTILITY SERVICE TO THE SURROUNDING RESIDENTS. CALL TOLL-FREE 1-800-282-7411, 72 HOURS PRIOR TO THE START OF WORK SO THAT EXISTING UNDERGROUND UTILITIES MAY BE LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LAND OR PROPERTY BEYOND THE PROJECT CONSTRUCTION AREA, WHICH MAY BE SUBJECT TO ANY EFFECTS OR BY-PRODUCTS OF HIS CONSTRUCTION EFFORTS.
- DEMOLITION SHOWN IS A MINIMUM REQUIREMENT. ADDITIONAL DEMOLITION MAY BE REQUIRED TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED AND DISTURBED AREAS TO PRE-CONSTRUCTION CONDITIONS, OR BETTER, INCLUDING ALL PAVING, STABILIZED EARTH, SOIL, DRIVEWAYS, TREES, SIDEWALKS, CURBS, STORM SEWERS, ETC. WHERE APPLICABLE, THE SAME TYPE OF MATERIAL THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE USED. IN AREAS OF SIDEWALK AND CURB REMOVAL, REMOVE TO NEAREST JOINT. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS, CODES, ETC. CONTRACTOR MUST DISPOSE OF MATERIALS AT A DESTINATION APPROVED BY THE CONTRACTING OFFICER. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL APPLICABLE PERMITS AND REQUIRED EASEMENTS HAVE BEEN OBTAINED.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS AS REQUIRED BY LOWNDES COUNTY.
- UTILITY CONSTRUCTION MUST BE COMPLETED BY A GA LICENSED UTILITIES CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, SUPERVISING AND MAINTAINING ALL SAFETY PROGRAMS THROUGHOUT THE DURATION OF CONSTRUCTION. ALL BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION. TRAFFIC CONTROL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SAFE TRENCH CONSTRUCTION IS MANDATORY. ALL SLOPES SHALL BE LAID BACK OR SHORED AS NECESSARY.

- THE CONTRACTOR SHALL KEEP RECORDS OF WORK PERFORMED ON A DAILY BASIS. THE CONTRACTOR SHALL PROVIDE ADEQUATE OVERSIGHT AND MANAGEMENT FOR HIS CONSTRUCTION EFFORTS.
- COOPERATION AND COORDINATION BETWEEN ALL CONTRACTORS, UTILITY COMPANIES AND SUBCONTRACTORS ENGAGED IN THE WORK WITHIN AND ADJACENT TO THE CONSTRUCTION IS IMPORTANT FOR THE COMPLETION OF THIS PROJECT IN A TIMELY MANNER. IN THE CASE OF INTERFERENCE BETWEEN THE OPERATIONS OF THE DIFFERENT CONTRACTORS, UTILITY COMPANIES AND SUBCONTRACTORS, THE OWNER WILL BE THE SOLE JUDGE OF THE RIGHTS OF EACH AND THE SEQUENCE OF THE WORK NECESSARY TO EXPEDITE THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF LOCAL, MUNICIPAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. ALL PERMITS REQUIRED FOR CONSTRUCTION OPERATIONS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL SAW CUT EXISTING ASPHALT PAVEMENT AS REQUIRED TO PRODUCE A SMOOTH JOINT WITH NEW PAVEMENT.
- MAGNETIC DETECTION TAPE AND TRACER WIRE SHALL BE INSTALLED WITH THE PVC PIPE FOR EASE OF FUTURE LOCATION. ALL TRACER WIRE SHALL BE 14 GAUGE OR AS REQUIRED BY LOCAL CODE.
- THE CONTRACTOR SHALL REMOVE ONLY THOSE TREES AND SHRUBS DEEMED NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL USE CARE TO MINIMIZE DAMAGE TO THE ROOT SYSTEM OF ANY TREES AND SHRUBS NEAR THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- THE CONTRACTOR IS TO NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY APPLICABLE UTILITY PROVIDERS AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION THAT MAY AFFECT THEM.
- THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, ADEQUATE AND SAFE ACCESS FOR ALL RESIDENTS AND/OR ADJOINING PROPERTY OWNERS DURING CONSTRUCTION.
- ALL CONCRETE WASHOUT SHALL BE COLLECTED BY THE CONTRACTOR ON-SITE AT AN AREA DESIGNATED BY THE OWNER FOR OFF-SITE DISPOSAL BY THE CONTRACTOR. WASHOUT SHALL BE MAINTAINED EITHER BY BERM OR BY WASHOUT PIT.
- ALL HAZARDOUS MATERIALS / WASTE SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
- SANITARY WASTE GENERATED FROM PORTABLE UNITS SHALL BE EMPTIED AS REQUIRED TO PROVIDE SANITARY CONDITIONS. ALL SANITARY WASTE DISPOSAL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS.
- CONTRACTOR SHALL REVIEW, PLAN AND SEQUENCE SITE GRADING AND THE INSTALLATION OF UNDERGROUND UTILITIES TO ENSURE PROPER INSTALLATION AND ELIMINATE POTENTIAL CONFLICTS.

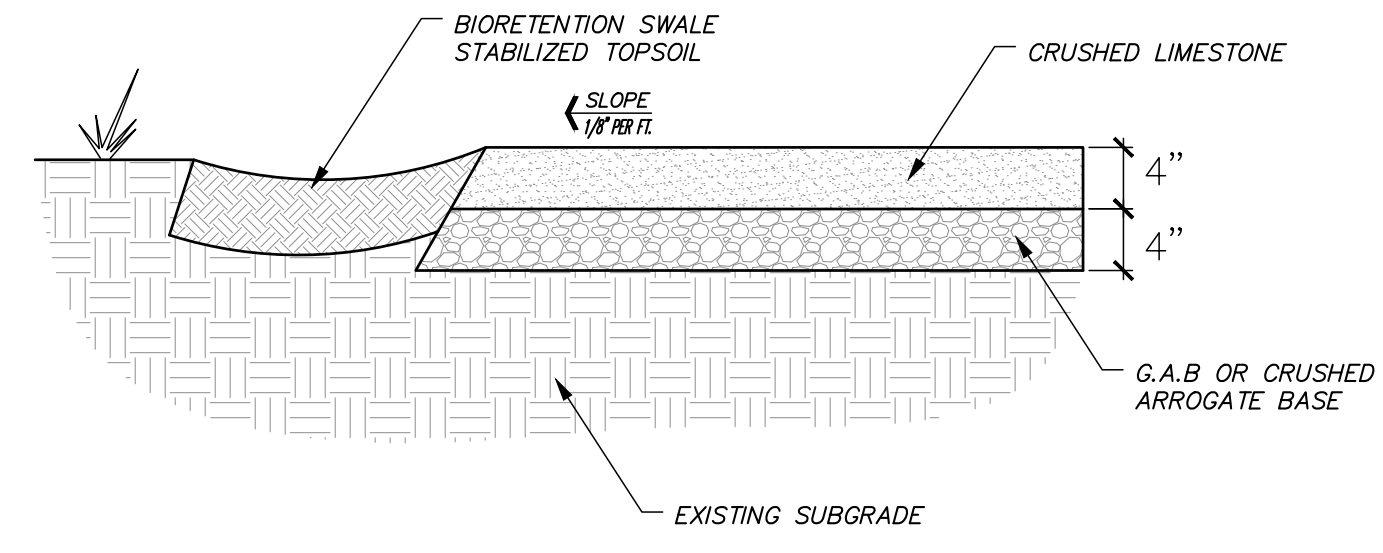


**Van Accessible Sign Detail**  
Scale: N.T.S.

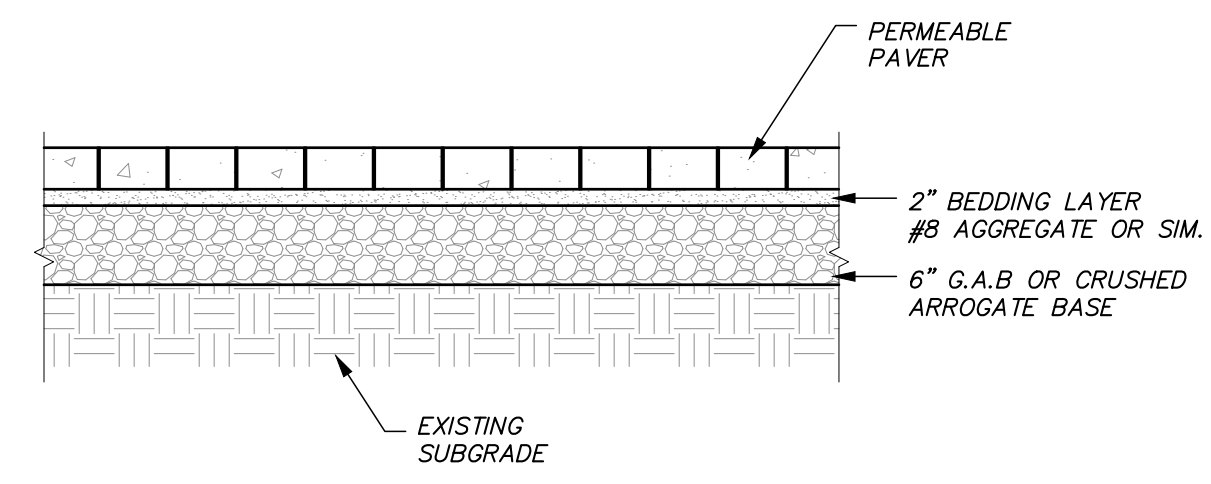
**NOTE:**  
PAVEMENT MARKINGS SHALL COMPLY WITH GEORGIA DOT STANDARDS AND SPECIFICATIONS. ALL PARKING STALLS SHALL BE WHITE, NO PARKING AREAS YELLOW AND HANDICAP SPACES BLUE.



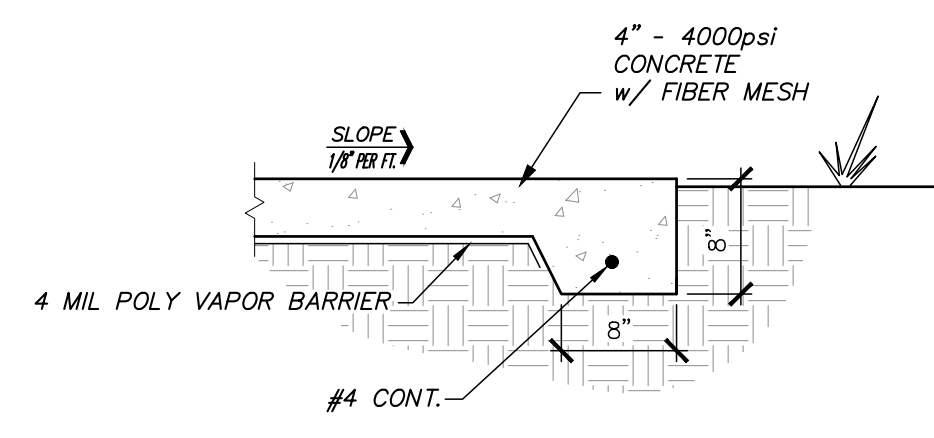
**H/C Striping Detail**  
Scale: N.T.S.



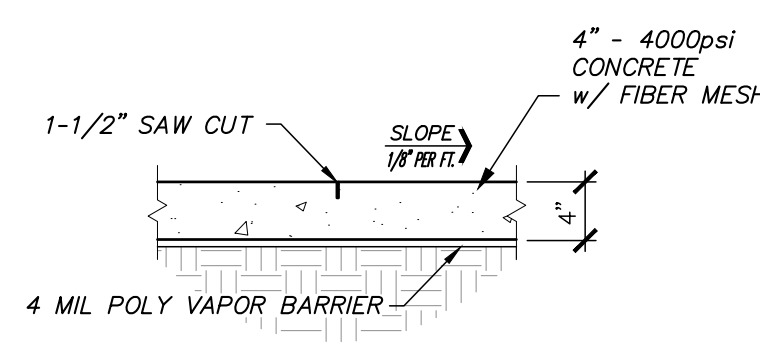
**Crushed Limestone Parking Pad Detail**  
Scale: N.T.S.



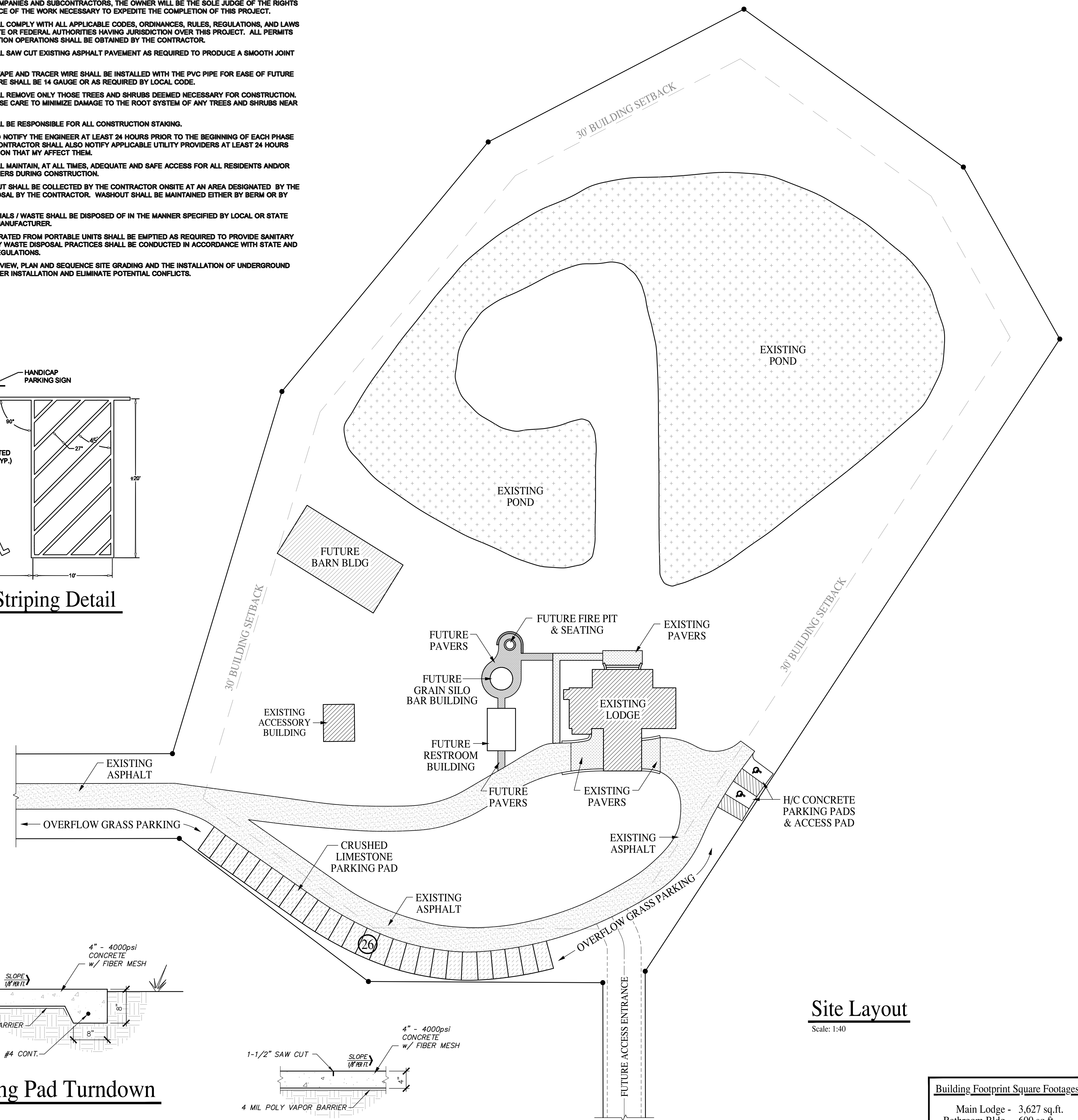
**Pervious Paver Detail**  
Scale: N.T.S.



**Parking Pad Turndown**  
Scale: N.T.S.



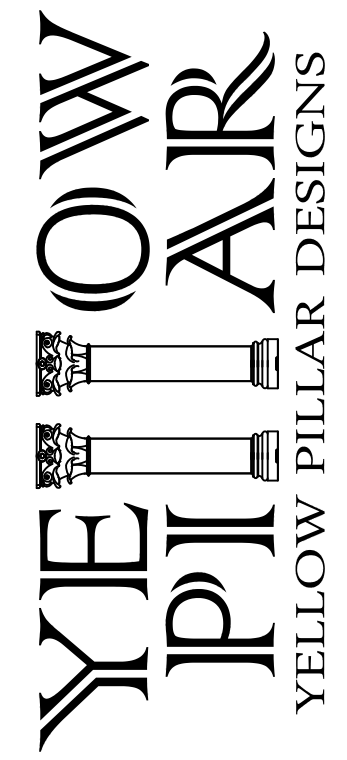
**Saw Cut Detail**  
Scale: N.T.S.



**Site Layout**  
Scale: 1:40

Building Footprint Square Footages	
Main Lodge	3,627 sq.ft.
Bathroom Bldg	600 sq.ft.
Silo Bar	201 sq.ft.
Storage Bldg	577 sq.ft.
Barn Bldg	3,200 sq.ft.

229-560-3062  
Email: jhewett@yellowpillardesigns.com  
Website: www.yellowpillardesigns.com



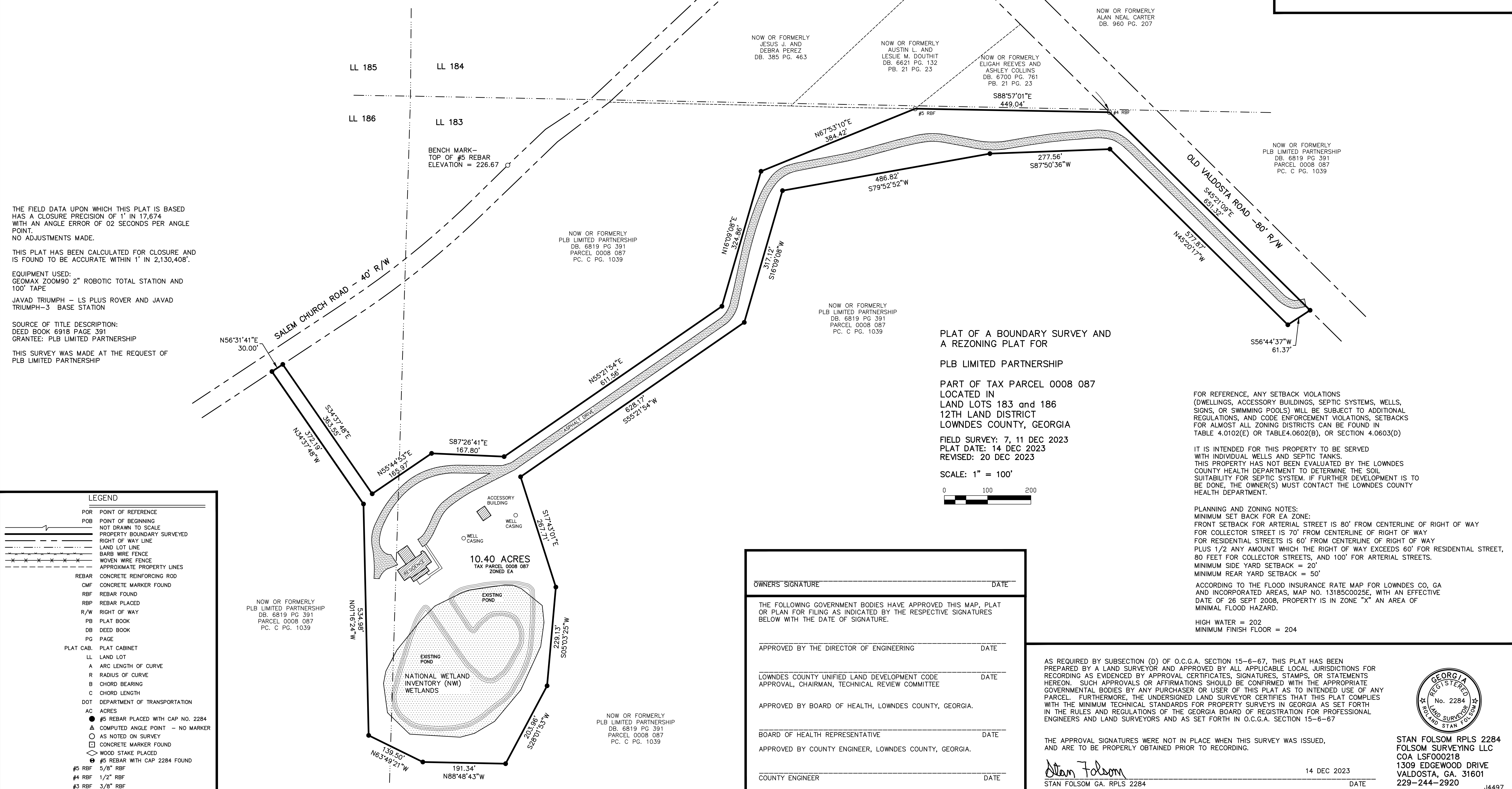
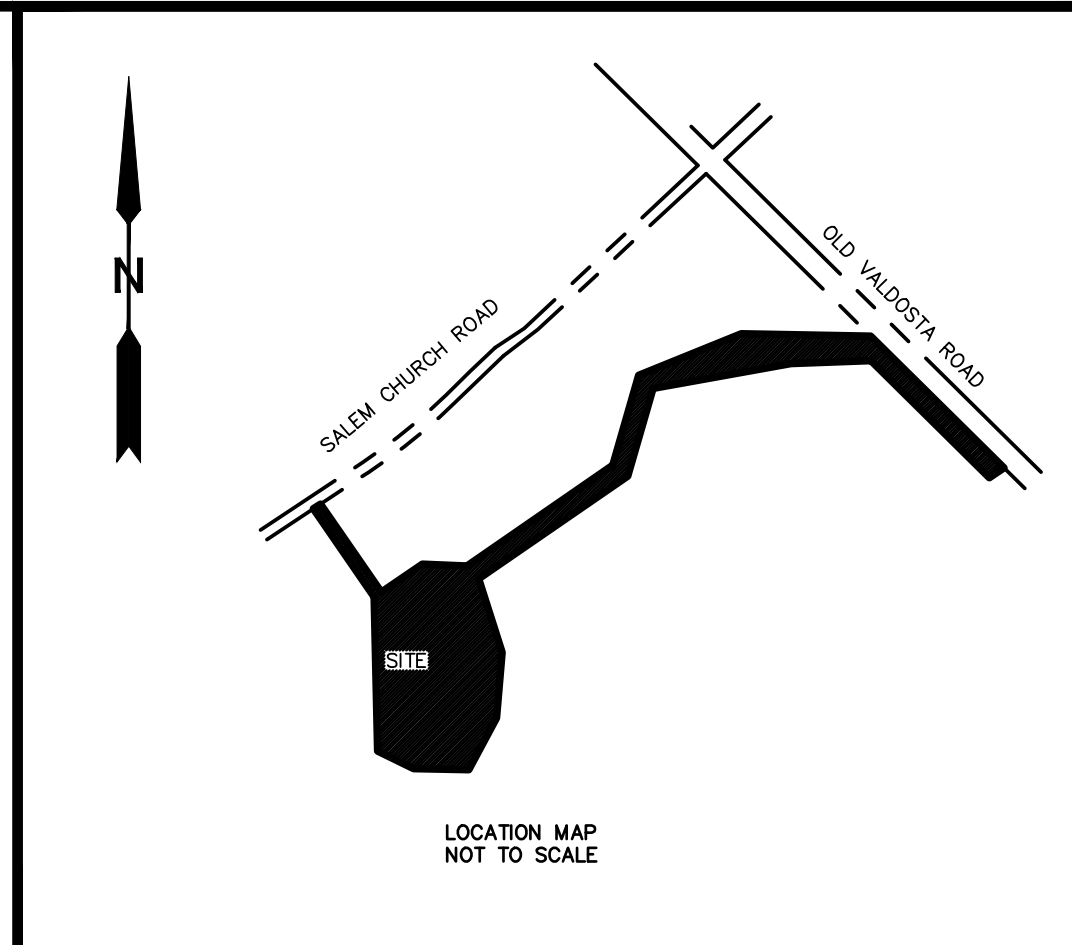
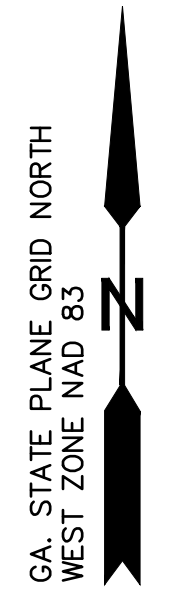
Site Layout  
for  
Oak Grove

DRAWN	JDH
CHECKED	JDH
JOB NUMBER	23-48
DATE	Dec. 19, 2023
REVISIONS	Jan. 4, 2023

DRAWING NUMBER  
**C-1.1**  
SHEET 1 OF 1

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RESERVED FOR THE CLERK OF THE SUPERIOR COURT



THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1" IN 17,674 WITH AN ANGLE ERROR OF 02 SECONDS PER ANGLE POINT. NO ADJUSTMENTS MADE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1' IN 2,130,408'.

EQUIPMENT USED:  
 GEOMAX ZOOM90 2" ROBOTIC TOTAL STATION AND 100' TAPE

JAVAD TRIUMPH - LS PLUS ROVER AND JAVAD TRIUMPH-3 BASE STATION

SOURCE OF TITLE DESCRIPTION:  
 DEED BOOK 6918 PAGE 391  
 GRANTEE: PLB LIMITED PARTNERSHIP

THIS SURVEY WAS MADE AT THE REQUEST OF PLB LIMITED PARTNERSHIP

**LEGEND**

	POR POINT OF REFERENCE
	POB POINT OF BEGINNING
	NOT DRAWN TO SCALE
	PROPERTY BOUNDARY SURVEYED
	RIGHT OF WAY LINE
	LAND LOT LINE
	BARB WIRE FENCE
	WOVEN WIRE FENCE
	APPROXIMATE PROPERTY LINES
	REBAR CONCRETE REINFORCING ROD
	CMF CONCRETE MARKER FOUND
	RBF REBAR FOUND
	RBP REBAR PLACED
	R/W RIGHT OF WAY
	PB PLAT BOOK
	DB DEED BOOK
	PG PAGE
	PLAT CAB. PLAT CABINET
	LL LAND LOT
	A ARC LENGTH OF CURVE
	R RADIUS OF CURVE
	B CHORD BEARING
	C CHORD LENGTH
	DOT DEPARTMENT OF TRANSPORTATION
	AC ACRES
	● #5 REBAR PLACED WITH CAP NO. 2284
	△ COMPUTED ANGLE POINT - NO MARKER
	○ AS NOTED ON SURVEY
	□ CONCRETE MARKER FOUND
	◇ WOOD STAKE PLACED
	● #5 REBAR WITH CAP 2284 FOUND
	#5 RBF 5/8" RBF
	#4 RBF 1/2" RBF
	#3 RBF 3/8" RBF

**PLAT OF A BOUNDARY SURVEY AND A REZONING PLAT FOR**  
**PLB LIMITED PARTNERSHIP**  
**PART OF TAX PARCEL 0008 087**  
**LOCATED IN**  
**LAND LOTS 183 and 186**  
**12TH LAND DISTRICT**  
**LOWNDES COUNTY, GEORGIA**

FIELD SURVEY: 7, 11 DEC 2023  
 PLAT DATE: 14 DEC 2023  
 REVISED: 20 DEC 2023

SCALE: 1" = 100'

FOR REFERENCE, ANY SETBACK VIOLATIONS (DWELLINGS, ACCESSORY BUILDINGS, SEPTIC SYSTEMS, WELLS, SIGNS, OR SWIMMING POOLS) WILL BE SUBJECT TO ADDITIONAL REGULATIONS, AND CODE ENFORCEMENT VIOLATIONS, SETBACKS FOR ALMOST ALL ZONING DISTRICTS CAN BE FOUND IN TABLE 4.0102(E) OR TABLE 4.0602(B), OR SECTION 4.0603(D)

IT IS INTENDED FOR THIS PROPERTY TO BE SERVED WITH INDIVIDUAL WELLS AND SEPTIC TANKS. THIS PROPERTY HAS NOT BEEN EVALUATED BY THE LOWNDES COUNTY HEALTH DEPARTMENT TO DETERMINE THE SOIL SUITABILITY FOR SEPTIC SYSTEM. IF FURTHER DEVELOPMENT IS TO BE DONE, THE OWNER(S) MUST CONTACT THE LOWNDES COUNTY HEALTH DEPARTMENT.

**PLANNING AND ZONING NOTES:**  
 MINIMUM SET BACK FOR EA ZONE:  
 FRONT SETBACK FOR ARTERIAL STREET IS 80' FROM CENTERLINE OF RIGHT OF WAY  
 FOR COLLECTOR STREETS IS 70' FROM CENTERLINE OF RIGHT OF WAY  
 FOR RESIDENTIAL STREETS IS 60' FROM CENTERLINE OF RIGHT OF WAY  
 PLUS 1/2 ANY AMOUNT WHICH THE RIGHT OF WAY EXCEEDS 60' FOR RESIDENTIAL STREET,  
 80 FEET FOR COLLECTOR STREETS, AND 100' FOR ARTERIAL STREETS.  
 MINIMUM SIDE YARD SETBACK = 20'  
 MINIMUM REAR YARD SETBACK = 50'

ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR LOWNDES CO, GA AND INCORPORATED AREAS, MAP NO. 13185C0025E, WITH AN EFFECTIVE DATE OF 26 SEPT 2008, PROPERTY IS IN ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.

HIGH WATER = 202  
 MINIMUM FINISH FLOOR = 204

OWNERS' SIGNATURE _____	DATE _____
THE FOLLOWING GOVERNMENT BODIES HAVE APPROVED THIS MAP, PLAT OR PLAN FOR FILING AS INDICATED BY THE RESPECTIVE SIGNATURES BELOW WITH THE DATE OF SIGNATURE.	
APPROVED BY THE DIRECTOR OF ENGINEERING _____	DATE _____
LOWNDES COUNTY UNIFIED LAND DEVELOPMENT CODE APPROVAL, CHAIRMAN, TECHNICAL REVIEW COMMITTEE _____	DATE _____
APPROVED BY BOARD OF HEALTH, LOWNDES COUNTY, GEORGIA. _____	DATE _____
BOARD OF HEALTH REPRESENTATIVE _____	DATE _____
APPROVED BY COUNTY ENGINEER, LOWNDES COUNTY, GEORGIA. _____	DATE _____
COUNTY ENGINEER _____	DATE _____

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67

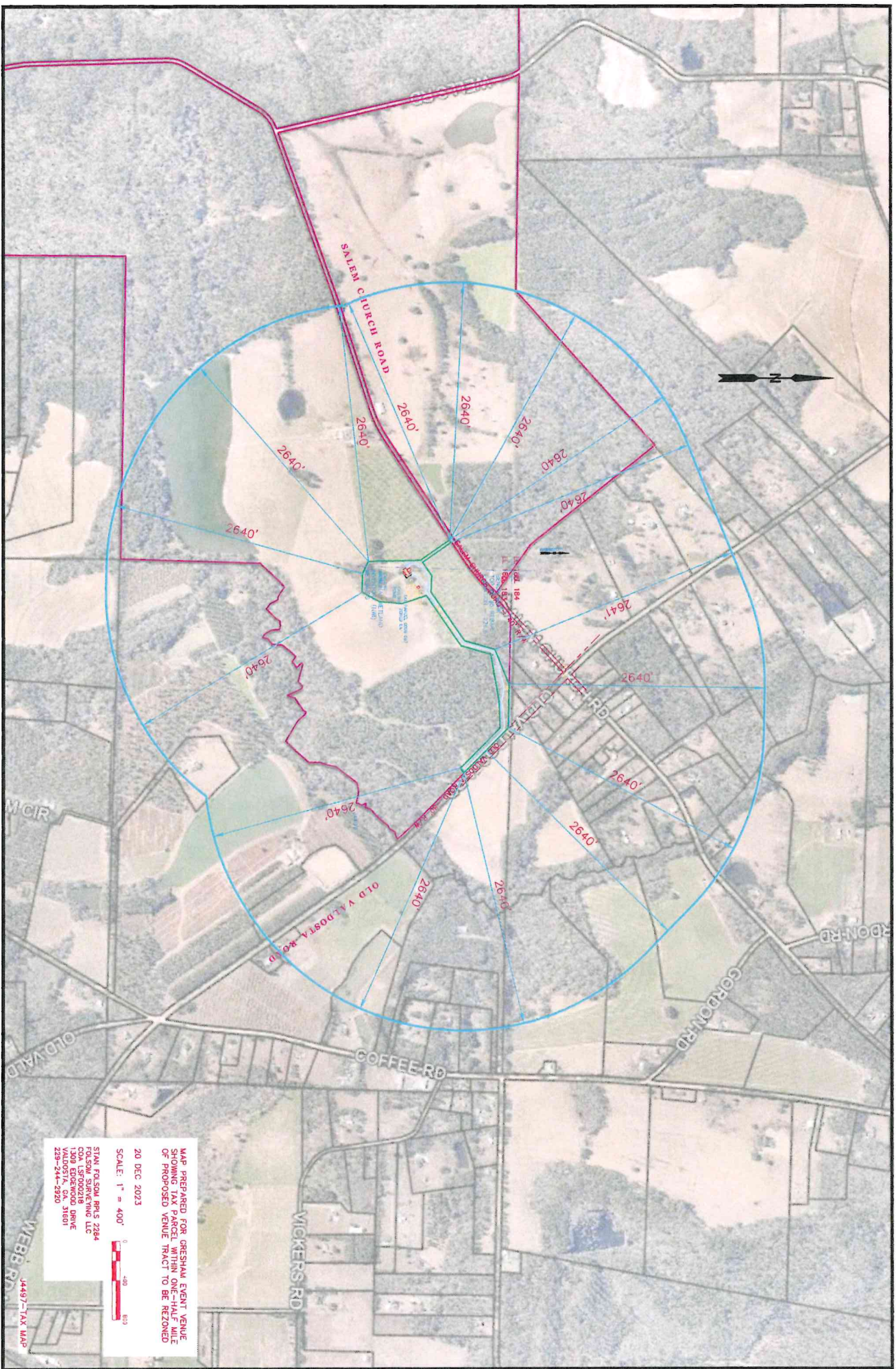
THE APPROVAL SIGNATURES WERE NOT IN PLACE WHEN THIS SURVEY WAS ISSUED, AND ARE TO BE PROPERLY OBTAINED PRIOR TO RECORDING.

*Stan Folsom*  
 STAN FOLSOM GA. RPLS 2284

14 DEC 2023  
 DATE



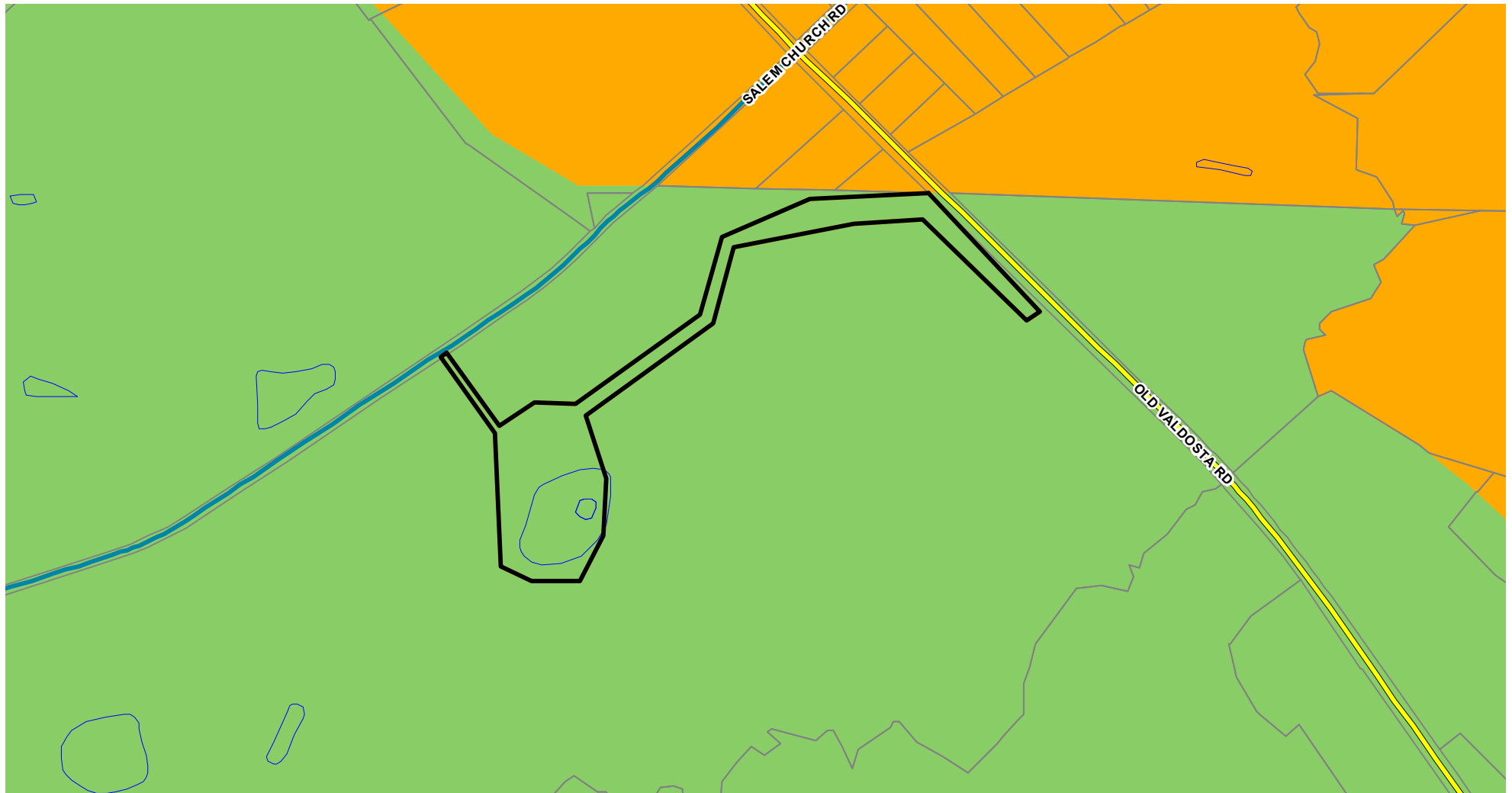
STAN FOLSOM RPLS 2284  
 FOLSOM SURVEYING LLC  
 COA LSF000218  
 1309 EDGEWOOD DRIVE  
 VALDOSTA, GA. 31601  
 229-244-2920



MAP PREPARED FOR GRESHAM EVENT VENUE  
 TRACT IN THE TOWN OF GRESHAM, VA  
 TO BE REZONED  
 20 DEC 2023  
 SCALE: 1" = 400'  
 STAN FOLSON PLS 2324  
 FOLSON SURVEYING LLC  
 COA LP57000218  
 1309 EISENHARDT DRIVE  
 GRESHAM VA 23045  
 239-244-5825 31051

14497-TAX MAP

## Gresham Event Venue Rezoning Request



### Roads

#### Functional Classification

- 1, INTERSTATE
- 3, OTHER PRINCIPAL ARTERIAL
- 4, MINOR ARTERIAL
- 5, MAJOR COLLECTOR
- 6, MINOR COLLECTOR
- 7, LOCAL
- Railroads

- Urban Service Area
- City Limits
- Parcels
- Open Water

- Agriculture / Forestry
- Community Activity Center
- Downtown
- Established Residential
- Industrial Activity Center
- Industrial Area
- Institutional Activity Center
- Linear Greenspace/Trails
- Mill Town
- Moody Activity Zone
- Neighborhood Activity Center
- Park/Recreation/Conservation
- Public / Institutional
- Regional Activity Center
- Remerton Neighborhood Village
- Rural Activity Center
- Rural Residential
- Suburban Area
- Transitional Neighborhood
- Transportation/Communication/Utilities

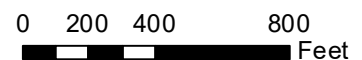
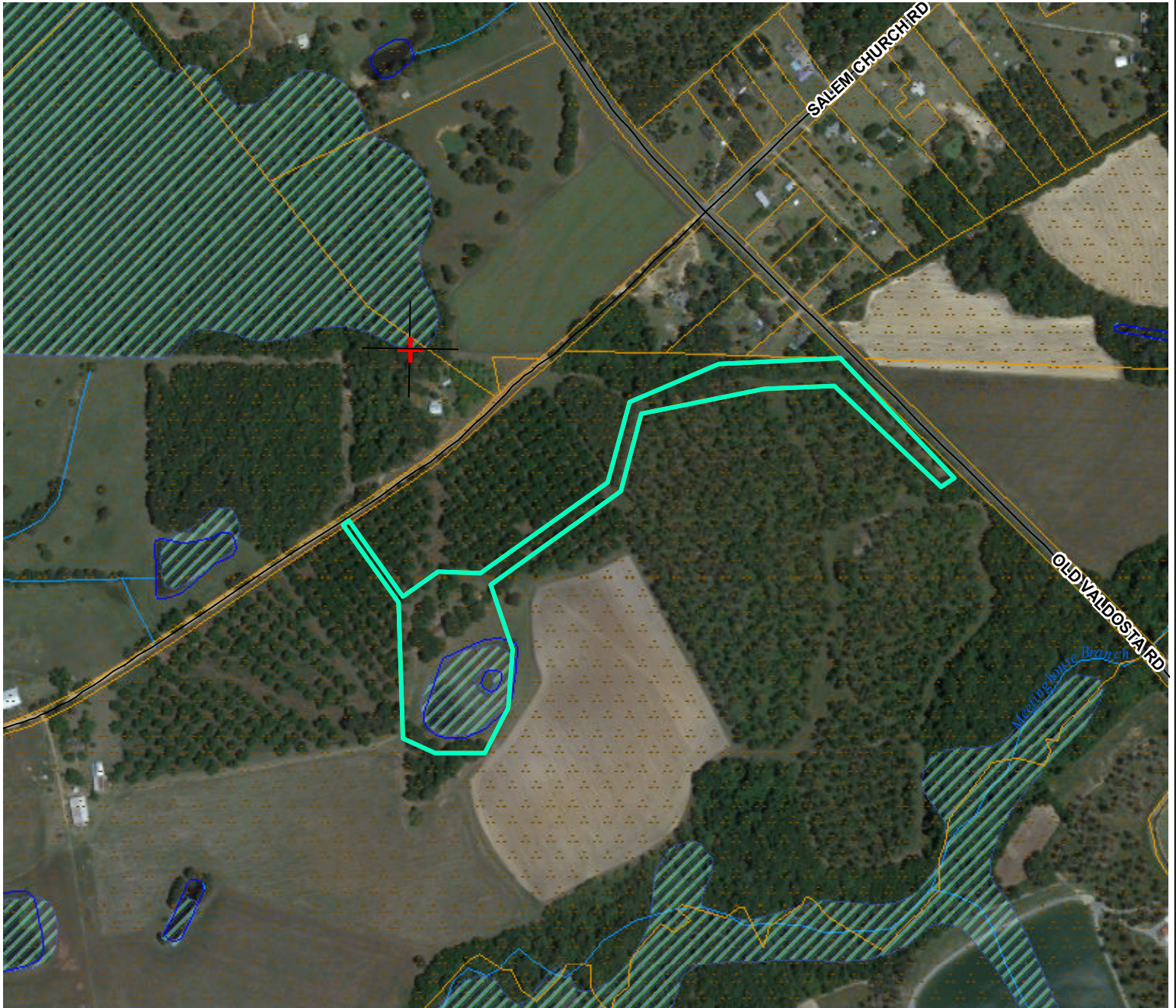
# REZ-2024-01

# WRPDO Site Map

## Legend

- Roads
- Railroads
- Park
- City Limits
- Crashzone
- Crashzone West
- Urban Service Area
- Open Water
- Valdosta Airport
- Wetlands
- 100 Yr Flood
- Hydrology
- Drastic
- Recharge Areas
- Parcels

## Gresham Event Venue Rezoning Request



# REZ-2024-01

# Zoning Location Map

Gresham Event Venue  
Rezoning Request

**CURRENT ZONING: E-A**  
**PROPOSED ZONING: PD-R**

